

La Luz Del Oeste

Architecture Standards and Procedures

Approved by the La Luz Board of Directors on September 28, 2015



Created and edited by:
ARCHITECTURAL COMMITTEE

Refer to the La Luz Directory for the current
Board of Directors and Committee Chairs



Produced by the Publicity Committee

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version 3.0 - 2-22-2016

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ARCHITECTURE STANDARDS AND PROCEDURES

Approved by the LLLA Board September 29, 2015

These Standards and Procedures replace any previously dated documents of the same name and subject.

Introduction

La Luz is a planned residential community of exceptional architectural design that has brought it national and international recognition. La Luz is not just a collection of individual houses, but an architectural whole, in which the quality of life is vitally dependent on unity and coherence.

Changes in materials or design of the exterior individual units that depart from the basic architectural design are detrimental to and detract from the integrity and aesthetic value of the community.

La Luz is on the State Register of Cultural Properties and some rehabilitation and restoration of La Luz homes is eligible for a tax credit. In the past they have given tax credits for roof replacements, window replacement, stucco and other work that meets their requirements of restoring and protecting cultural properties. They may also give tax credits for repairs or repainting on the inside of a unit, if there has been damage and they see the repair as a restoration. We strongly advise homeowners to talk with them before beginning any kind of restoration, to see if a tax credit might be possible. No work can begin until they approve the application and then you must complete the paperwork after the work is done for final approval.

The website address is: <http://nmhistoricpreservation.org/programs/tax-credits.html>

We also suggest that you contact **PNM** and the **Water Authority** for various rebates they might offer.



General Authority for Standards

The First Amended and Restated Declaration of a Planned Residential Community (2001) contains Article VI for Architecture Standards. This document provides the basis for architectural controls of the exteriors of Living Units, their garages, patios, doors, roofs, driveways, outside walls, and Common Areas of the La Luz Landowners Association.

Article V, contained in The Amended Bylaws of La Luz Landowners Association (2001), provides the authority for the Board of Directors to appoint an Architecture Committee to carry out the responsibilities of architecture control.

This document contains the Architecture Standards that describe the procedures to be followed by Living Unit owners, the Architecture Committee, and the Association in maintaining or making a change to any exterior feature of a Living Unit.

A Living Unit includes, but is not limited to, the surrounding walls, windows, doors, gates, roofs, canals, and exteriors of the garages, including its roof, doors, and driveway. The exterior means the common area or that which can be viewed while standing on pathways outside of other Living Units, either at the same, higher, or lower levels.

Changes made to the Common Area itself or buildings owned and maintained by the LLLA are to be guided by these standards as well. However there may be times that approvals for changes in these locations may be allowed, where they are not allowed in individual residences, because they benefit La Luz as a whole.



Approvals for Exterior Changes Visible from the La Luz Common Grounds

When a living Unit owner needs approval of an exterior repair or an outside change, a written request should be submitted to the Architecture Committee

Before submitting the request it is advisable to read the standards, to do research on the subject, and to talk to your neighbors. Homeowners should also call or e-mail the Committee to find out what has been approved previously, what may be possible, and what timetable to follow.

The request itself should include detailed drawings and specifications sufficient to describe the proposed construction and the visual impact.



Timing of Requests

The formal and complete submission should be received at least one week prior to a scheduled meeting of the Committee. The Architecture Committee generally meets once a month.

The submission should be made by e-mail to the Board Liaison to the Architecture Committee and the Architecture Chair. If submitting in this manner is not possible, hard copies should go to the Architecture Committee Chair and the La Luz Landowners Association Office.

If you have not received notification that your submittal has been received in 5 days please contact the La Luz Landowners Association office either by phone or e-mail.

The Committee will review the request and make every attempt to act as expeditiously as possible and to supply a written reply (approving, denying, or asking for more information) within 30 days of the request. It is in the homeowner's interest to contact the Architecture Committee and to submit their request, with documentation, as soon as possible.

Emergency Approvals

If an emergency approval is necessary to avert immediate damage to a homeowner's property, the homeowner should contact the Architecture Committee (by e-mail or by calling the Chair) with the issue. If there is no response within 24 hours the owner should contact a La Luz Board Member, preferably the Architecture Board Liaison. Please see #18 in "Specific Architecture Standards and Procedures" for further detail.



Violation of Standards

Since La Luz is a planned community it is important for all residents to follow written architectural, landscaping and maintenance standards to help preserve all aspects of our community. This cooperative spirit will enhance our property values.

The Architecture Committee will evaluate any report of an architecture violation and will follow-up with the owner if any action is needed.

Written reports of violations of standards by Living Unit owners may require consultation or joint action by other committees. In such cases, the resolution of a reported violation shall be achieved by consensus if possible taking into account the views of the complaining party, the Living Unit owner, and neighbor(s) whose interests may be affected. The Board of Directors may hold a public meeting or arrange for disposition of the matter privately. In either case, the matter must be handled in a manner that will comply with current architecture standards.

If the Living Unit owner refuses to correct matters to the satisfaction of the Architecture Committee and the Board, the Board of Directors may approve the issuance of a Claim of Lien against the Living Unit in the amount estimated by the Architecture Committee to bring the property up to standards.



Specific Architecture Standards and Procedures

Standards and procedures are subject to change as technology advances and materials change. Approvals will be evaluated with that in mind. Please contact the Architecture Committee for any new information or updates regarding these standards and procedures.

Before any work is initiated it is the responsibility of the living unit owner to make contractors aware of these standards and procedures.

Contractors should also be aware that no dumping or waste disposal is allowed on the La Luz Common Area, which includes the open space.

The Architecture Committee recommends that residents use licensed, bonded and insured contractors who have been in business 3-5 years.

1. Antennas and Satellite Dishes

This is an issue that is subject to changes in technology and availability. Therefore, it is important that the owner consider the best match between the available technology and the intent to preserve the view.

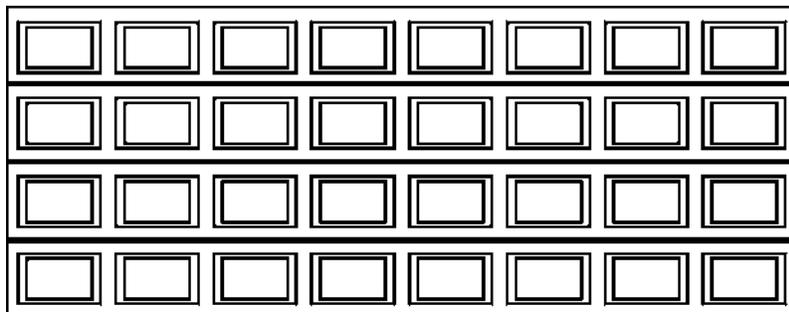
Antennas should be kept below the top of the Living Unit owner's roof parapet. Antennas must be painted La Luz Brown. A satellite dish should be placed in the Living Unit owner's patio so it does not affect neighbors' views or is visible from the Common Areas. If this is not possible, a roof dish can be considered if it meets the following guidelines:

- a. It is the smallest size available
- b. It is not visible above the parapets from the Common Area
- c. It has no visible wiring installation
- d. It is painted La Luz Brown except for those portions which interfere with the function

Each installation requires approval by the Architecture Committee.

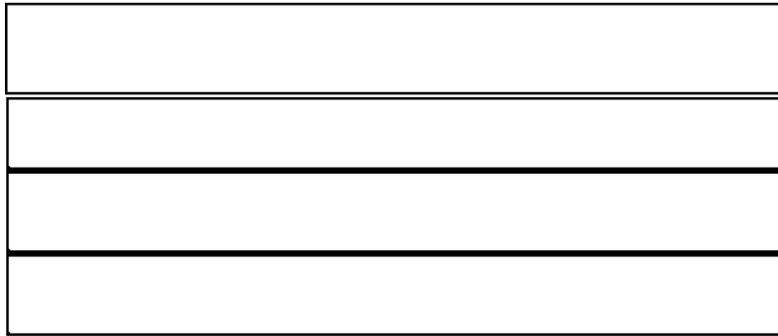
2. Automobile Garage Doors

- a. Automobile garage doors on Link, Pool, Tennis Court and Tumbleweed are to be replaced using the style known as the raised panel or colonial style with each panel measuring 14" x 20".



link, pool, tennis court and tumbleweed street style of garage door

b. Automobile garage doors on Arco and Berm are to be replaced with the style known as a flush panel garage door.



arco and berm street style of garage door

Garage doors, frames and flashings, are to be painted flat La Luz brown. They may be insulated on the inside for the purpose of modifying temperature extremes.

Vents also may be added to the automobile garage doors if they are placed in the lower outside corners and are as small as possible. Whenever possible vents should be placed in the pedestrian garage door, as those doors are generally less visible from the Common Area.

It is recommended that the both the garage door and frame be made of metal as these are more durable in the New Mexico weather and do not splinter or warp the way wood does.

Replacement of automobile garage doors in the manner described may be done without obtaining written approval from the Architecture Committee.

Changes or addition of roof vents to garages require Architecture Committee approval and need to be painted La Luz Brown.

3. Pedestrian Doors on Garages

Pedestrian doors visible from the Common Area, are to be painted flat La Luz Brown. Hardware should be simple, with a brushed aluminum or stainless steel finish. A single vent, as small as possible, may be added. The vent is to be centered in the bottom section of the door. It is suggested that replacement doors and frames be metal flush panel style. Metal doors are more durable in this climate and do not splinter or warp.

Replacement of the pedestrian doors on garages in the manner described may be done without obtaining written approval from the Architecture Committee.

4. Doorbells, Intercoms, Entrance keypads, Security System Alarms.

If possible, these devices should be placed so that they cannot be seen from the Common Area. If they can be seen from the Common Area, they are to be unobtrusive, simple in design, and painted La Luz Brown.

If the equipment cannot be seen from the common area, there is no need for Architecture Committee approval.



example of properly clustered roof appliances

5. Evaporative Coolers and Refrigerated Air Conditioning Units

The cooling unit should be located in the least obtrusive location, preferably on the ground. If the cooling unit cannot be located where it is not visible to others, then the Architecture Committee will consider a roof installation.

Given that these units are subject to changes in technology, it is important that the homeowner consider the best match between available technology and the stated La Luz intent to preserve views.

Evaporative coolers and new or modified designs of the original condenser coils for refrigerated air conditioners may be installed if approved by the Architecture Committee.

The Request for Approval must include brand name, model number (with brochure that includes dimensions), and a sketch of where the unit is to be placed.

The cooling unit should be located in the least obtrusive location. If the cooling unit cannot be located where it is not visible to others, then the Architecture Committee will consider a roof installation.

Evaporative coolers can be the down-draft or side-draft type. The cooling unit cannot be more than 24" above the nearest parapet of the house and is to be painted flat La Luz Brown.

All plumbing and wiring must come through the roof at the nearest practical location to the cooling unit. Water pipes, electrical conduits, and wires may not be installed over existing parapets. They may be installed by channeling through the stucco and then covering the channel by re-stuccoing. They may go through the roof and through the interior of the house.

Every attempt shall be made to insure that the installation of the cooling unit is done with the lowest visibility possible. The Architecture Committee will provide advice to the Living Unit owner concerning the installation location and orientation of the cooling unit.

The Architecture Committee recommends placement of new or replacement cooling units in patio areas or in locations specifically designed for such units.

Changes or additions of coolers and refrigerated air conditioners require Architecture Committee approval

6. Exterior Lights

With exterior lights, the intent of the Architecture Committee is to provide continuity throughout the La Luz community and to avoid adding light pollution to the adjacent areas. The Committee recommends that the replacement or addition of exterior lights visible from the Common Area match the original light fixtures. Homeowners, when replacing or adding light fixtures, should match the adjoining neighbors' exterior light fixtures and light output.

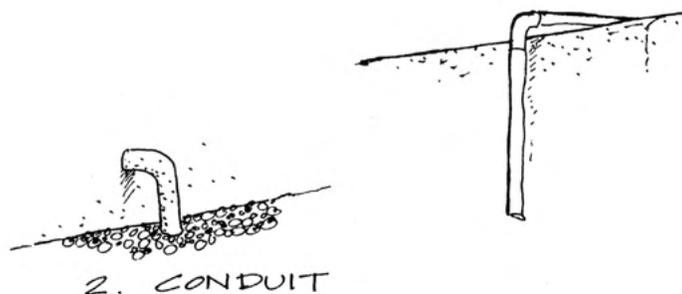
For replacement or addition of light fixtures, the Committee specifies the following:

- Wall Sconces for walkways and entrances: the LLLA is responsible for maintaining and replacing these fixtures.
- Wall Packs for above garages: 150-watt wall pack with cut off configuration for light control.
- Soffits for lights visible from the Common Area: Recessed exterior lights. Given the changing technology, the choice of incandescent, CFL ,LED or other bulbs will be made at the time of approval. Suspended lights or globes are not acceptable.

All new or replacement lighting fixtures visible from the Common Area will need Architecture Committee approval.

7. External Wires and Conduits

No cables, pipes, wires or conduits are allowed on exterior walls or over parapets, that are visible from the Common Area.



Wires, pipes, or conduits that need to be added to a Living Unit should be either buried in existing stucco or drywall or placed in a reasonable location that makes it less visible from the common area.

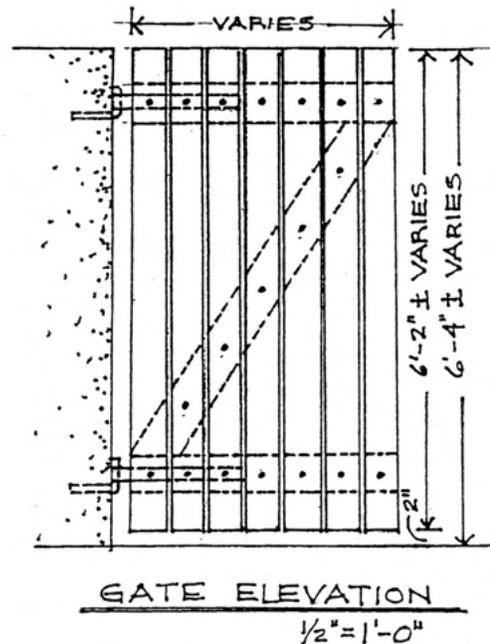
On request, the Architecture Committee will provide visuals, graphics, and information on how this can be accomplished.

All external wires and conduits on roofs should be painted flat La Luz Brown. Rooftop exhaust, already existing vents, meter covers or conduits should be painted La Luz Brown.

8. Gates and Handrails

Each homeowner is responsible for maintaining their gates, including exterior storage compartment doors and handrails (in or on exterior walls). Over time many gates have darkened. In order to bring the gates back to the original color and design of La Luz, the Architecture Committee recommends the following:

No stain or color can be used on these items except those recommended by the Committee.



Refinishing Gates and Handrails: The most thorough procedure for gates in disrepair is to either replace the gate or take it apart, sand or sandblast all the parts, and then refinish the cleaned gate with the products recommended below. If a gate is in good repair but does need to be refinished, homeowners have the option to sand/sand blast the gate completely, without taking it apart. Because with this method it is difficult to sand the slat edges, the result is usually not as good as with the first method. In this case a wire metal brush can help remove old finish.

Do not attempt to refinish a gate without removing the old finish.

Replacing Gates and Handrails: New gates should be built of either redwood or fir in the same configuration as the original gate (see attached sketch). Two-inch thick lumber is recommended. The new gates should be finished with products recommended below

Architecture Gate Hardware has traditionally been oxidized bronze or black wrought iron with lock mechanisms of the same hardware type as the gate handle and latch. The Committee recommends that thumb latches for opening gates be used. The use of a lever, knob, or escutcheon (ornamental plate or flange around a key hole) can be used. The color of the hardware should match the hinges, surface bolts, and locks/handles. The color of hardware should be flat. Shiny reflective surfaces are prohibited.

Product detail:

Do not use varnish as it will peel quickly, harming the wood.

Gates may not be painted.

Do not use linseed oil (it darkens the wood over time).

Use a good quality oil based product equal to Sikkens Certal 1 in a natural stain.

If these guidelines are followed, no approval is needed from the Architecture Committee.

The Committee may be able to provide a list of contractors experienced in the repair, replacement or maintenance of gates and handrails.

9. House Numbers

Originally the La Luz house numbers were painted in Helvetica style font. Over the years, when numbers have been repainted, other fonts have been used.

When the house numbers are to be repainted, the Living Units owner is to contact the La Luz Landowners Association office. Stencils for house numbers are now available exclusively through the La Luz Landowners Association office.

In most cases, house numbers will be repainted in their original location. The numbers should not be repainted until the wall has been prepared either by fog coating or re-stuccoing.

The Groundskeeper will repaint the house number using Helvetica stencils. There will be no charge to the Living Unit owner but the wall must be prepared prior to contacting the groundkeeper.

10. Internet Cable Boxes

This is an issue that may be subject to new advances in available technologies. It is recommended that the Architecture Committee be contacted prior to any internet cable box installation.

Any Internet cable box should be installed to be as unobtrusive as possible and painted flat La Luz Brown. The box should be inside the patio wall, if possible. Any wires that will show on the exterior walls will need to be pre-approved by the Architecture Committee.

Any cable box installed in an area that is visible to the community will require Architecture Committee approval prior to installation.

11. Paint

Color chips for the La Luz Brown paint color are available at the La Luz Landowners Association office. Please take the time to visit the office so that your paint will match other units.

Living Unit owners may go to any paint store. The store will use the paint chip to match the color exactly. To keep the color uniform when painting different surfaces, it is advisable to use the appropriate primer before applying the La Luz Brown paint. Please use flat paint.

12. Roofs and Roof Repair

Because many La Luz residents view a significant number of other roofs from their living units, strict adherence to roof standards must be followed on modifications to any roof at La Luz. The purpose of these standards is the reduction of roof clutter in the form of appliances, pipes and colors, while at the same time allowing for new technologies that promote energy savings.

Structures on roofs: All Roof appliances, vents, flues, wires, pipes, and flashings should be painted La Luz Brown. Items no longer in use should be removed.

Roof replacement: Tar and gravel has been the accepted material for roofs in the past, but the Architecture Committee recommends now that the latest energy saving materials be used to replace existing La Luz roofs.

Gas Lines: There are some houses where the gas line was installed on the roof. Because membrane roofs require deeper installation techniques, gas lines should be mapped before an installation is begun.



Slope and Drainage: If drainage has become a problem, increasing the slope of the roof toward the canales, by adding material under the new roof, can help. That solution can add significant cost. Also depending on the length of the roof, it may not be the best solution. To find out if increasing the slope is feasible, and keeping in mind that the slope additions are not to be visible above the parapet, the owner can get a professional assessment from a contractor as to feasibility and cost. If adding slope is not possible, please consult the Architecture Committee, which may be able to offer other possible solutions.

Skylights: When roofs are redone it may be necessary to raise present skylights in order to meet current ICB codes. If skylights do need to be raised, they should be raised as little as possible. They should remain the same size and shape as the original skylights.

Tar and Gravel Roof Replacement: The following are procedures for tar and gravel roof replacement:

Re-roofing with original materials must result in an appearance substantially similar to the original roof. Roofing paper should be integrated into the side of the parapet approximately halfway up and not laid over the top. Gravel must match the texture, color, and size of the original roofing materials. The upsweep of the roofing paper from the flat roof to the parapet should be painted La Luz Brown

on those portions viewed from other Living Units or the Common Areas.

How the flashing is applied and finished should be discussed with the contractor regarding the best practice for covering the tar or silver flashing with La Luz Brown flat paint. This will diminish the reflection and contrast for neighbors who look over your roof.

The use of tar and gravel on the roof, applied as above, does not need approval,

Membrane Roof Replacement: Thermal Plastic Membrane (TPO) or Polyvinyl Chloride (PVC) are the most sustainable performance based specifications that they have proven to be as the best roofing materials and therefore are now allowed in La Luz. Because materials and installation are changing rapidly, the specifics of materials and installation methods need to be first discussed and approved by the Architecture Committee for each new roof BEFORE a roof is installed.

Please obtain the most recent Membrane Roof Replacement Guidelines for specifics on installation approvals allowed in La Luz for membrane roofs from the Architecture Committee

All homeowners in La Luz must obtain Architecture Committee approval before a new membrane roof can be applied.

13. Signs

Signs may not be displayed in public view from any Living Unit or the Common Area except those placed by the Association. Realty for sale and open house signs are permitted only while an actual open house is taking place and must be removed at the close of the showing hours.

14. Stucco

Each homeowner is responsible for the maintenance of their unit's stucco. The Architecture Committee recommends that, when repairing or replacing stucco, homeowners use a qualified installer (*bonded, insured and in business for at least 3-5 years*) who is familiar with La Luz.

Material: La Luz units are constructed of adobe blocks, which require a stucco coating that allows the adobe "*to breathe*". For this process to occur, cement based stucco coatings are the only acceptable materials. Synthetic Stucco is not allowed.

Color: The original stucco color is La Luz Brown by El Rey (now Parex). Over the years the manufacturing of the product has caused some color variation, and attempts to return to the original color have resulted in many different brown hues. In addition, time and sun exposure will produce some color variation in cement based products. In order to eventually return to a more uniform look, the Architecture Committee now prefers that La Luz Brown be used without the addition of other colors when re-stuccoing a home.

Application: New stucco should be applied where the contrast between old and new stucco is the least obvious. You may wish to talk with your immediate neighbors about the best solution for uniformity. Curing by wetting the stucco down a few times after initial drying is recommended. This will help the new stucco come closer to the old stucco hue.

New stucco should always be applied by trowel. Sprayed or brushed coatings may not be used. Caulking or patching with oil, silicone, epoxy, or latex based products is not allowed.

Joints: These are the vertical line/spaces that appear on the walls that occur where one material abuts another (for example, stucco and concrete block), which are then covered with stucco. The purpose of these joints is to allow movement between these different materials and control the cracking of the stucco. Joints need to be cleaned out when re-stuccoing or patching to continue to allow for movement. High quality silicone, color matched or paintable with La Luz Brown flat paint, should be used. This is the only area of stucco repair where silicone is allowed.

Patching and Crack Repair: This is to be done with a cement based stucco product. Fog coating the entire wall where the repair occurs is strongly recommended with as much color matching to the adjoining walls as is possible so as to promote uniformity.

House number area : If fog coating or repair is to be done on the area where the house number is painted, please see # 16 of Architecture Standards and procedures, and talk with the La Luz Manager/Groundskeeper prior to the beginning of the project, so that the area can be properly prepared by the stucco contractor for the repainting of the house number.

RE-STUCCOING OR CRACK REPAIRS AS DESCRIBED ABOVE MAY BE DONE WITHOUT OBTAINING WRITTEN APPROVAL OF THE ARCHITECTURE COMMITTEE.

15. Windows, Awnings, and Security bars

Given the complexity and cost of window replacement, each installation must be pre-approved by the Architecture Committee. Drawings with exact measurements of each window to be changed, including the measurements of frames and separators must be submitted to the Committee. Mullions should be as narrow as possible.

Windows are to be horizontal sliders or casement type. The configuration should be the same as the original windows in the adjacent units. In some of the smaller windows the original proportions have been changed. In those cases, the new windows should match the configuration of the majority of windows in the adjoining residences.

Dark bronze is the standard color for window frames. Glass color should match what already exists in the cluster.

When replacing single glazed patio doors with double glazed patio door units, the homeowner is advised to consult with the window manufacturer to determine if the floor and patio can support the weight of the new glass. Some Living Units have needed the area under the patio door reinforced before adding extra weight.

The Architecture Committee has approved replacing selected windows with sliding glass doors. In order to maintain the La Luz window design the look of the door should match the fixed window that it is replacing, as seen from the common area.

If the standards, detailed above, are revised due to changes in the building or fire codes, the Architecture Committee will approve the variation that is closest to the original model.

Every installation must be pre-approved by the Architecture Committee.

Awnings or security bars may not be attached to the exterior of Living Units if they are visible from the Common Area. Security bars may be placed on the inside of a Living Unit patio, where they are not visible from the Common Area. They also may be added to the interior of a Living Unit.

16. Solar Installations:

Solar energy collecting equipment can include devices for day-lighting, space heating, hot water, and electricity generation. Because La Luz patios are small, unit and garage rooftops constitute the only available space for this equipment. This regulation addresses the positioning of equipment and the connecting hardware as they affect architecture and the preservation of views.

The details of installations must be reviewed and approved by the Architecture Committee before work is begun. The Committee will evaluate proposals based on the following:

- **No wires, conduits or piping will be allowed over parapets or down walls that can be seen from the Common Area. Wiring, conduits, and piping will use roof penetrations similar to A/C installations.**
- **None of the system's electrical components, including conduits, inverters, junction boxes, shut offs and metering are to be visible from the Common Area.**
- **The angle placement of the panels must be as low as possible.**
- **The racking that holds the panels and any other rooftop equipment must be painted (or otherwise finished) either flat black, dark brown or La Luz Brown.**
- **The placement on the roof must be as far from the parapets as possible.**
- **No equipment should be placed on party walls.**
- **The roof needs to be able to hold the added weight.**
- **Anchorage of the equipment must be adequate to resist predictable wind loads.**

When seeking approval from the Architecture Committee, applicants are encouraged to present CAD and/or photo shop drawings so that the Committee can envision what the installation will look like from various views (neighbors overlooking, common areas).

Neighbors who will be most affected should be informed of the possible installation and given time to comment either to the homeowner and/or the Committee.

In order to further envision the effect, it is encouraged that one trial solar panel be placed on the roof in the area that the panels would be most visible, to give the Committee and community further opportunity to envision the proposal.

The system must pass all applicable code inspections. The system must be maintained in functional

and aesthetic order and should be removed when no longer in use.

17. Ramp Approval for Disabled Homeowners

All proposed ramps for La Luz homes that involve the Common Area (either by being on or seen from the Common Area) must be approved by the Board of Directors and the Architecture Committee. Committee decisions will be guided by longstanding La Luz esthetic principles, which include harmony of external design and preservation of views, as well as a need to provide accessibility for all homeowners. Approval of ramps will come with the understanding that they are to be constructed and placed in the least obtrusive manner.

In accordance with the Americans with Disabilities Act, the Committee defines disability as a physical or cognitive impairment that substantially limits one or more major life activity. Ramps on or seen from the Common Area will be considered for homeowners with disabilities under the following circumstances:

- If the resident uses a wheelchair to enter the home or has other mobility impairments that would necessitate a ramp; and
- If the resident's home is not accessible by wheelchair, meaning that the home lacks an entrance without steps and a hard surface that would allow the homeowner to transit from the home to a vehicle.

Requests from homeowners with disabilities who wish to install a ramp must be submitted to the Architecture Committee in writing, accompanied by photographs, drawings, and/or measurements that allow the Committee to fully evaluate the request. The request should also include documentation of the homeowner's disability from a medical provider.

When approved, all ramps will be considered temporary structures and will need yearly approval; the request for yearly approval should also include documentation of the homeowner's disability from a medical provider. The responsibility to obtain approval falls on the homeowner, as does the expense of building and removing the ramp. All ramps must be removed when they are no longer needed and/or when the resident sells the home; provided, however that the ramp may not be required to be removed upon the sale of the living unit if the acquiring homeowner has a disability requiring a ramp and received board approval for maintaining the ramp after presentation of documentation of the acquiring homeowners disability from a medical provider.

Ramps must be built in a way that does not create a hazard to pedestrians, especially neighboring living unit residents.

18. Approval Procedure in Case of an Emergency

Expedited Approval Process for repairs and replacements that fall under the purview of the Architecture Committee and are necessitated because of emergency circumstances.

Emergencies that fall under the La Luz Architecture jurisdiction are: Sudden and unforeseen occurrences demanding immediate action. An 'Architectural Emergency' at La Luz may occur for one or more of the following reasons:

- A. The request for approval from the Committee cannot happen in a quick enough time frame to avert damage to a homeowner's property.

B. Exterior or interior damage may result to the property if action is not taken quickly
Procedure:

- Homeowner should contact the Architecture Chairperson with their issue. If the Chair does not respond in 24 hours, the homeowner should contact a La Luz Board Member, preferably the Architecture Board Liaison.
- The homeowner submits a request to the Architecture Committee Chair or Board Member, in writing, that includes a plan for the repair or remediation of the problem. The request should include pictures and diagrams whenever possible.
- Committee is made aware of the issue and emailed the written request.
- The Committee Chair or Board Member and at least two additional committee members will review the plan and either approve, request additional information, or respond to the homeowner with additional conditions that need to be met in order to comply with the standards and procedures.

Changes and repairs made without approval will need Architecture Committee approval after they are completed. This could result in additional expense to the homeowner, if the repair that was done does not meet approval standards.



Glossary

Aesthetics: A set of principles concerned with the nature and application of beauty.

Canales: Waterway or drain that serves to guide water from the roof to the ground. In La Luz the canales are aggregated concrete and extend through the parapet wall.

Conduits: Pipes that are used to cover or guide wire.

Common Area: Any and all areas of the Property not designated as a Living Unit.

Exterior: The outside portion of a building.

Flashings: Pieces of sheet metal or the like used to cover and protect certain joints and angles, as where a roof comes in contact with a wall or chimney, or around doors and windows, specifically around leakage and water damage.

Guidelines: Any guide or indication of a future course of action.

Living Unit: Any portion of a building on the La Luz Property for use as a single family dwelling.

Members: Any person or entity who is the record owner of a fee or fee interest in any living unit.

Parapets: The stucco wall raised above the roof elevation.

Procedures: The particular ways and methods adopted as policy by the La Luz Board of Directors for the accomplishment of the responsibility of Members, Officers, Board Members, Committees and Employees, as permitted by the Declaration and Bylaws of the Association.

Regulations: Those rules and instructions adopted by the Board to be followed by the Members and Associations employees in meeting the objectives of the Declaration and Bylaws of the Association, as those documents permit.

Roof Appliances: Those items such as pipes, vents air conditioners, swamp coolers and communication devices, placed on roofs.

Standards: A level of quality.

